

LEGEND

	3 BED APARTMENT
A104	APARTMENT NO.
105 m ²	AREA
	2 BED APARTMENT
A104	APARTMENT NO.
105 m ²	AREA
	1BED APARTMENT
A104	APARTMENT NO.
105 m ²	AREA

APT	APARTMENT
BDY	BOUNDARY
EGL	EXISTING GROUND LEVEL
EX	EXISTING
EXH	EXHAUST
FHR	FIRE HOSE REEL
PP	POWER POLE
RL	REDUCED LEVEL

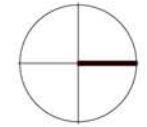
SITE INFORMATION
 COURTESY OF
 NEAR MAPS AND
 DETAILED SURVEY

E	08.07.19	CG	DA ADJUSTMENTS
D	15.3.18	CG	DA
ISSUE	DATE	DRAWN	DESCRIPTION

DEVELOPMENT
 APPLICATION

Mark Lawler Architects

- DIRECTOR + NOMINATED ARCHITECT:
- MARK LAWLER (4766)
- DIRECTOR: STEPHEN COON
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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: SITE PLAN -LEVEL 01 (GROUND)
SCALE: 1:500, 1:200 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 1-01
ISSUE: E
DRAWN: SC & ML & CG



D09403937



- LEGEND**
- APT APARTMENT
 - BDY BOUNDARY
 - EGL EXISTING GROUND LEVEL
 - EX EXISTING
 - EXH EXHAUST
 - FHR FIRE HOSE REEL
 - PP POWER POLE
 - RL REDUCED LEVEL

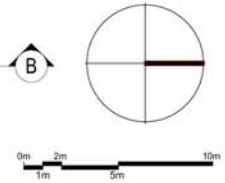
RESIDENT STORAGE

ISSUE	DATE	DRAWN	DESCRIPTION
E	08.07.19	CG	DA ADJUSTMENTS
D	15.3.18	CG	DA

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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: BASEMENT 2 PLAN | -02
SCALE: 1:200 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 1-02
ISSUE: E
DRAWN: SC & ML & CG

D09403937

CARY STREET

57,960

1,790

4,284

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WORK TO FIGURED DIMENSIONS. DO NOT SCALE DRAWING.
CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
DRAWINGS TO BE READ IN CONJUNCTION WITH
SPECIFICATIONS AND SERVICES CONSULTANTS DRAWINGS.



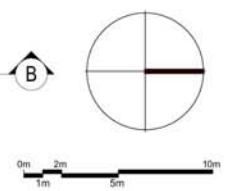
LEGEND
APT APARTMENT
BDY BOUNDARY
EGL EXISTING GROUND LEVEL
EX EXISTING
EXH EXHAUST
FHR FIRE HOSE REEL
PP POWER POLE
RL REDUCED LEVEL

ISSUE	DATE	DRAWN	DESCRIPTION
E	08.07.19	CG	DA ADJUSTMENTS
D	15.3.18	CG	DA

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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: BASEMENT 1 PLAN | -01
SCALE: 1:200 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 1-03
ISSUE: E
DRAWN: SC & ML & CG

D09403940

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LEGEND

	3 BED APARTMENT
	APT. NO. AREA
	2 BED APARTMENT
	APT. NO. AREA
	1BED APARTMENT
	APT. NO. AREA

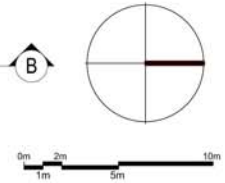
APT APARTMENT
 BDY BOUNDARY
 EGL EXISTING GROUND LEVEL
 EX EXISTING
 EXH EXHAUST
 FHR FIRE HOSE REEL
 PP POWER POLE
 RL REDUCED LEVEL

E	D	CG	CG	DA	DA
08.07.19	15.3.18				
ISSUE	DATE	DRAWN	DESCRIPTION		

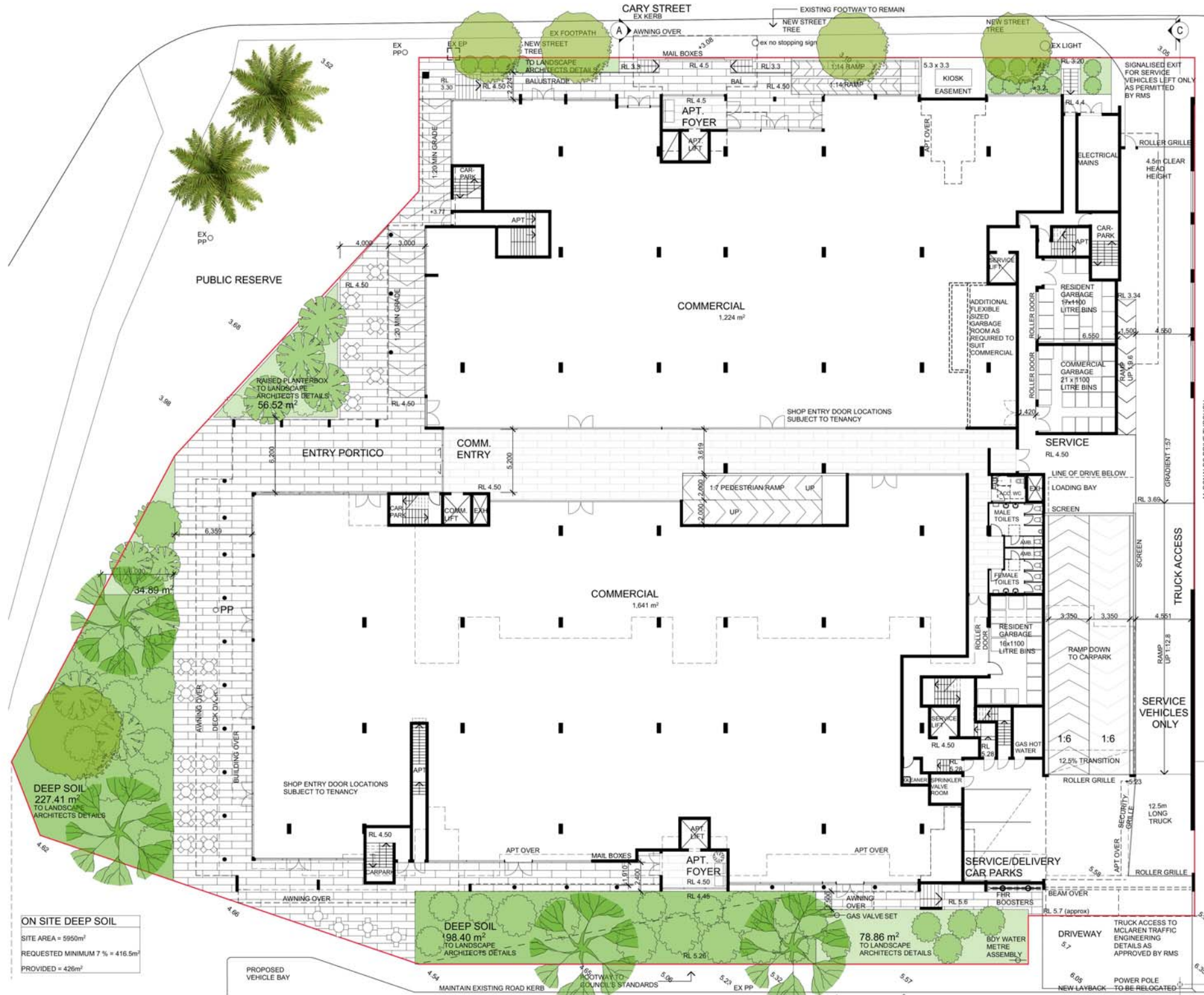
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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: GROUND PLAN - LEVEL 01
SCALE: 1:200 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 1-04
ISSUE: E
DRAWN: SC & ML & CG



ON SITE DEEP SOIL
 SITE AREA = 5950m²
 REQUESTED MINIMUM 7% = 416.5m²
 PROVIDED = 426m²

DEEP SOIL 198.40 m² TO LANDSCAPE ARCHITECTS DETAILS
78.86 m² TO LANDSCAPE ARCHITECTS DETAILS
34.89 m² TO LANDSCAPE ARCHITECTS DETAILS
56.52 m² TO LANDSCAPE ARCHITECTS DETAILS

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- LEGEND**
- 3 BED APARTMENT
 APARTMENT NO.
 AREA
 - 2 BED APARTMENT
 APARTMENT NO.
 AREA
 - 1BED APARTMENT
 APARTMENT NO.
 AREA

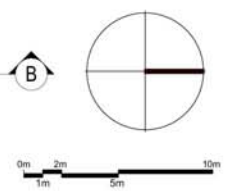
- APT APARTMENT
- BDY BOUNDARY
- EGL EXISTING GROUND LEVEL
- EX EXISTING
- EXH EXHAUST
- FHR FIRE HOSE REEL
- PP POWER POLE
- RL REDUCED LEVEL

ISSUE	DATE	DRAWN	DESCRIPTION
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D	15.3.18	CG	DA

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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: PODIUM PLAN - LEVEL 02
SCALE: 1:200 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 1-05
ISSUE: E
DRAWN: SC & ML & CG



D09403940

November 2017		BSA Reference: 12691	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification. If different construction elements are applied then the Assessor Certificate is no longer valid.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
AAC 75mm Veneer		R2.0	
Internal Wall Construction		Added Insulation	
Plasterboard on studs (internal to units)		none	
Plasterboard+studs+shaft liner+studs+Plasterboard (party & common walls)		R2.0 + R2.0	
Concrete + plasterboard (walls adjacent to lift & stair wells)		R1.0	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof space and decks above	
Roof Construction	Colour	Added Insulation	
Concrete	Any	none	
Floor Construction		Added Insulation	
Covering		R1.0 to units A113, A114 & A115 Only (open below)	
Concrete	As drawn		
Windows			
Glass and frame type	U Value	SHGC Range	Area sq m
ALM-001-01 A Aluminium Type A Single clear	6.70	0.51 - 0.63	As drawn
ALM-002-01 A Aluminium Type B Single clear	6.70	0.63 - 0.77	As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights			
Glass and frame type	U Value	SHGC	Area sq m
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified			
External Window Shading (eaves, verandahs, pergolas, awnings etc)			
All shade elements modelled as drawn			
Ceiling Penetrations (downlights, exhaust fans, flues etc)			
No adjustment has been made for losses to insulation arising from ceiling penetrations.			



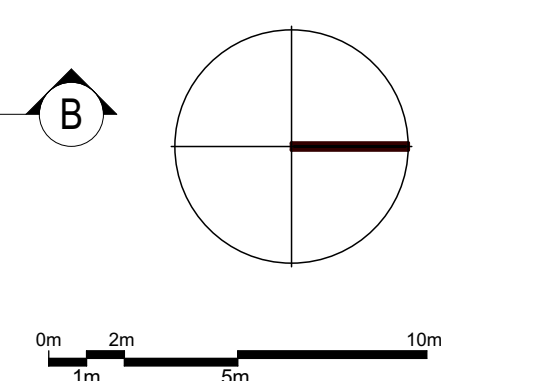
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- LEGEND**
- 3 BED APARTMENT APARTMENT NO. AREA
 - A104 105 m² AREA
 - A104 105 m² AREA
 - A104 105 m² AREA
 - A104 105 m² AREA
 - PUBLIC DOMAIN WORKS
 - APT APARTMENT
 - BDY BOUNDARY
 - EGL EXISTING GROUND LEVEL
 - EX EXISTING
 - EXH EXHAUST
 - FHR FIRE HOSE REEL
 - PP POWER POLE
 - RL REDUCED LEVEL

DEVELOPMENT APPLICATION

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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: LEVEL 03 PLAN
SCALE: 1:200 @ A2
DATE: 06-Mar-18
DWG No: 1588 DD - 1-06
ISSUE: D
DRAWN: SC & ML & CG

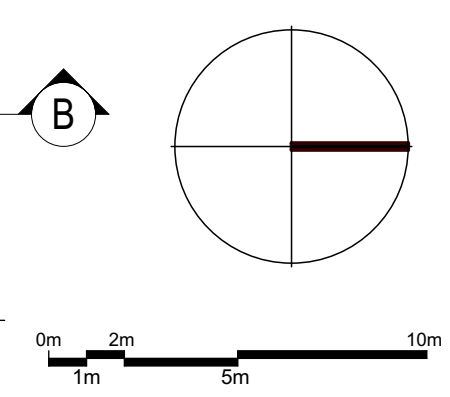


- LEGEND**
- 3 BED APARTMENT
A104
105 m²
AREA
 - 2 BED APARTMENT
A104
105 m²
AREA
 - 1BED APARTMENT
A104
105 m²
AREA
 - PUBLIC DOMAIN WORKS
- APT APARTMENT
 - BDY BOUNDARY
 - EGL EXISTING GROUND LEVEL
 - EX EXISTING
 - EXH EXHAUST
 - FHR FIRE HOSE REEL
 - PP POWER POLE
 - RL REDUCED LEVEL

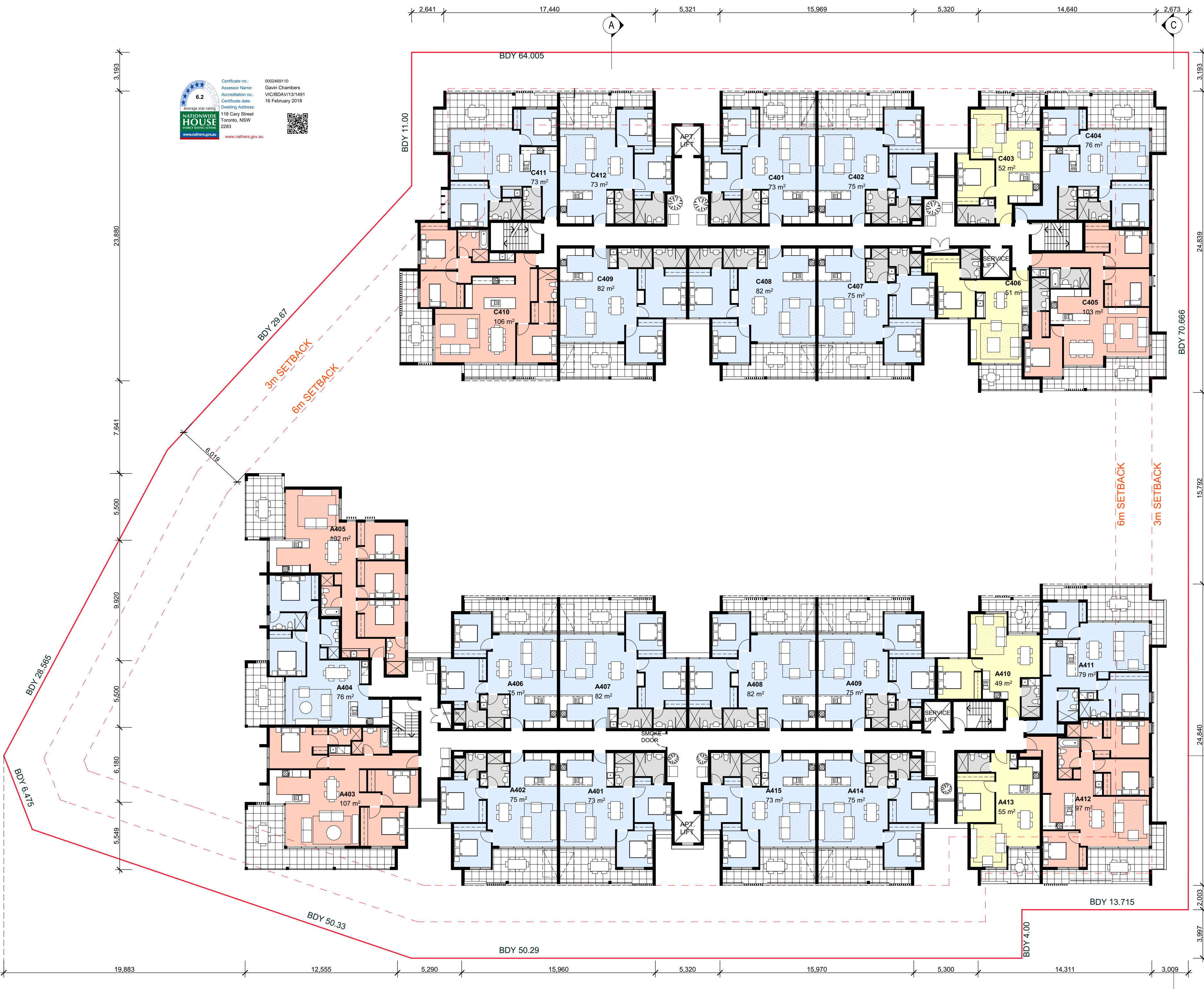
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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: LEVEL 04 PLAN
SCALE: 1:200 @ A2
DATE: 06-Mar-18
DWG No: 1588 DD - 1-07
ISSUE: D
DRAWN: SC & ML & CG



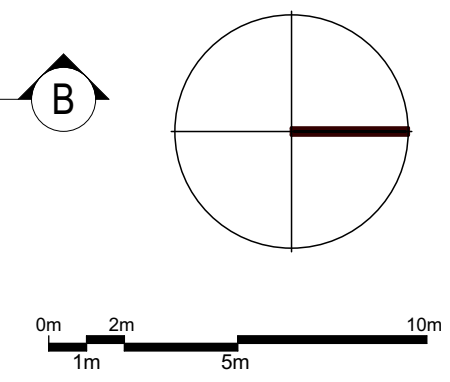
- LEGEND**
- 3 BED APARTMENT
APARTMENT NO. AREA
 - A104 105 m²
2 BED APARTMENT
APARTMENT NO. AREA
 - A104 105 m²
1BED APARTMENT
APARTMENT NO. AREA
 - PUBLIC DOMAIN WORKS

- APT APARTMENT
- BDY BOUNDARY
- EGL EXISTING GROUND LEVEL
- EX EXISTING
- EXH EXHAUST
- FHR FIRE HOSE REEL
- PP POWER POLE
- RL REDUCED LEVEL

DEVELOPMENT APPLICATION

Mark Lawler Architects

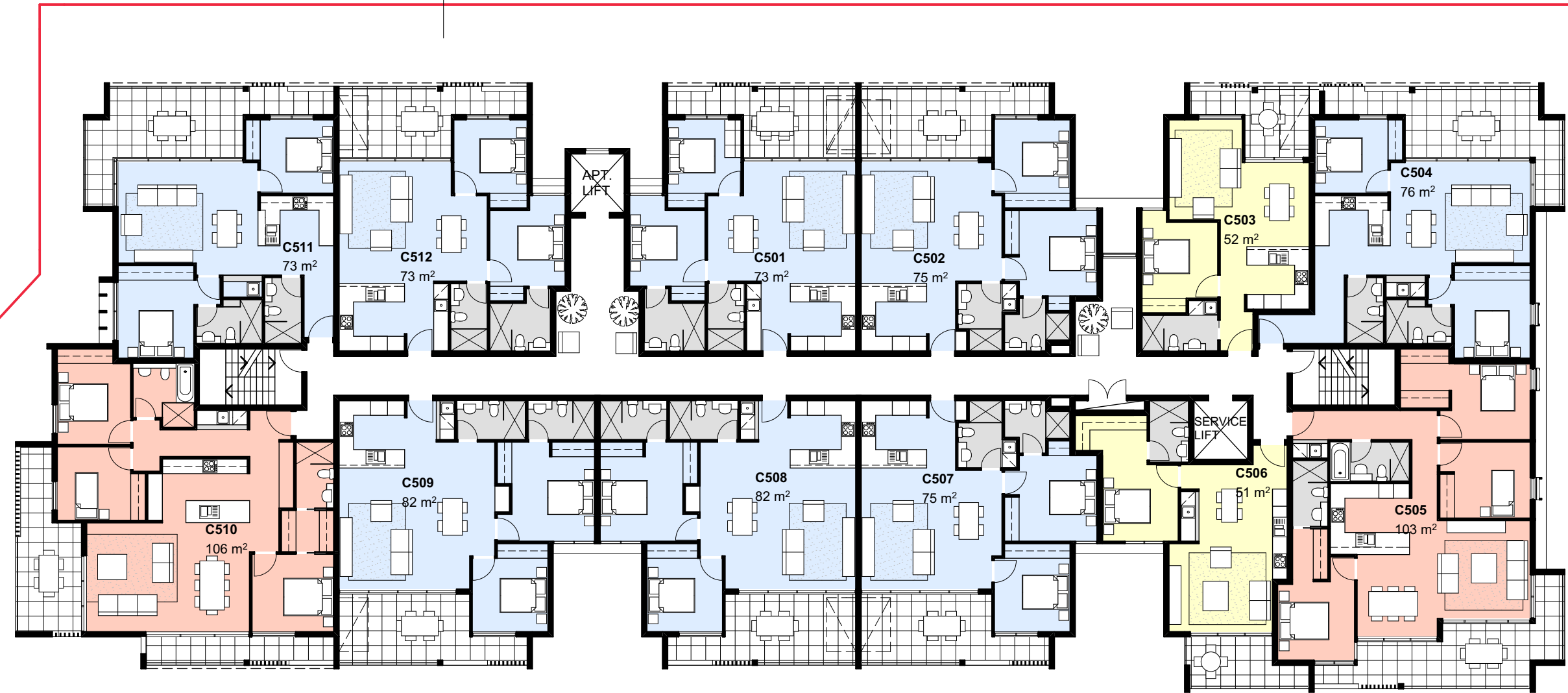
- DIRECTOR + NOMINATED ARCHITECT:
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- 35 SMITH STREET, CHARLESTOWN NSW 2290
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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: LEVEL 05 PLAN
SCALE: 1:200 @ A2
DATE: 06-Mar-18
DWG No: 1588 DD - 1-08
ISSUE: D
DRAWN: SC & ML & CG



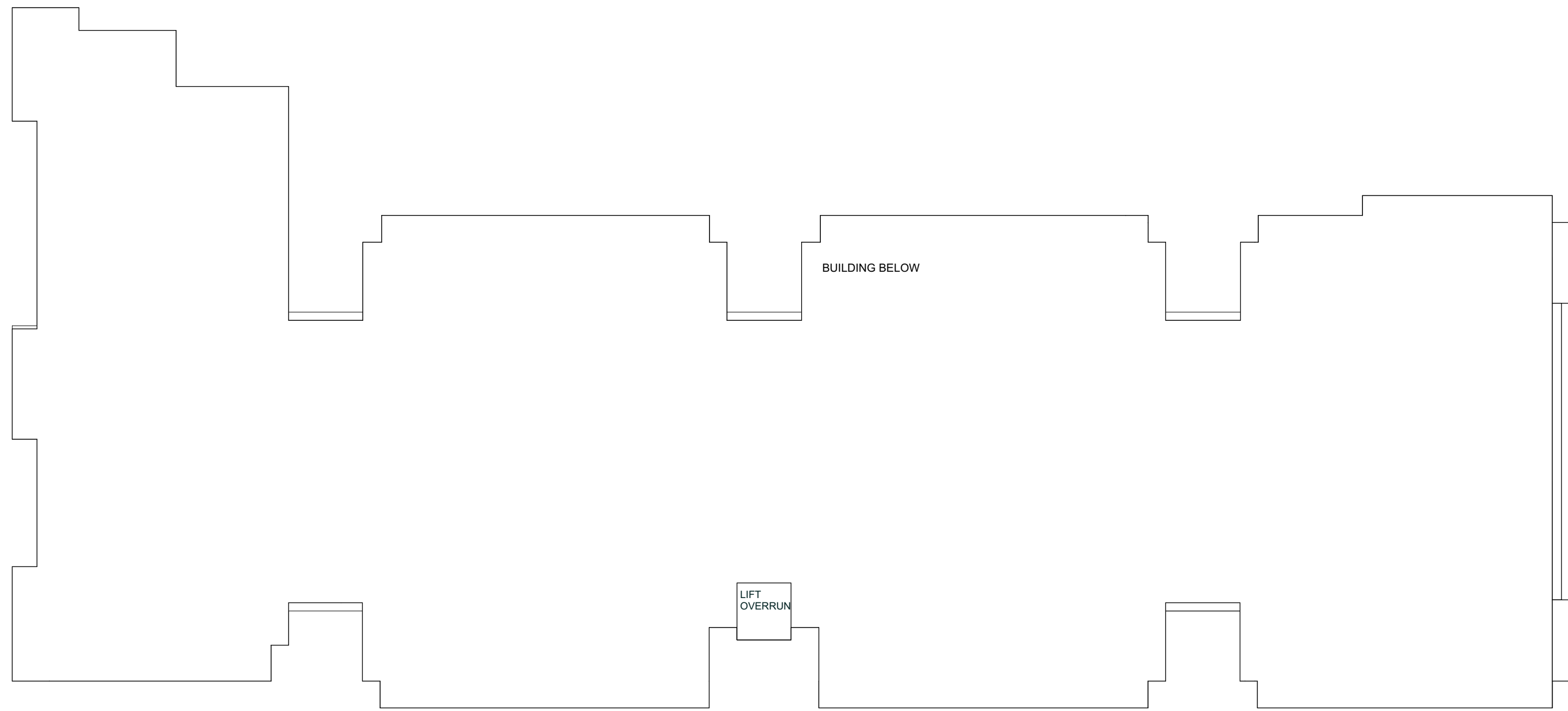
Certificate no.: 0002469110
Assessor Name: Gavin Chambers
Accreditation no.: VIC/BDAV/131491
Certificate date: 16 February 2018
Dwelling Address: 118 Cary Street
Toronto, NSW 2283
www.nathers.gov.au



- LEGEND**
- 3 BED APARTMENT
A104 APARTMENT NO.
105 m² AREA
 - 2 BED APARTMENT
A104 APARTMENT NO.
105 m² AREA
 - 1BED APARTMENT
A104 APARTMENT NO.
105 m² AREA
 - PUBLIC DOMAIN WORKS
 - APT APARTMENT
 - BDY BOUNDARY
 - EGL EXISTING GROUND LEVEL
 - EX EXISTING
 - EXH EXHAUST
 - FHR FIRE HOSE REEL
 - PP POWER POLE
 - RL REDUCED LEVEL

3,195
23,890
7,639
32,650
7,300

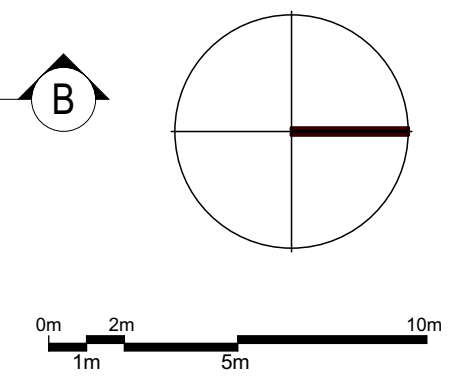
19,883



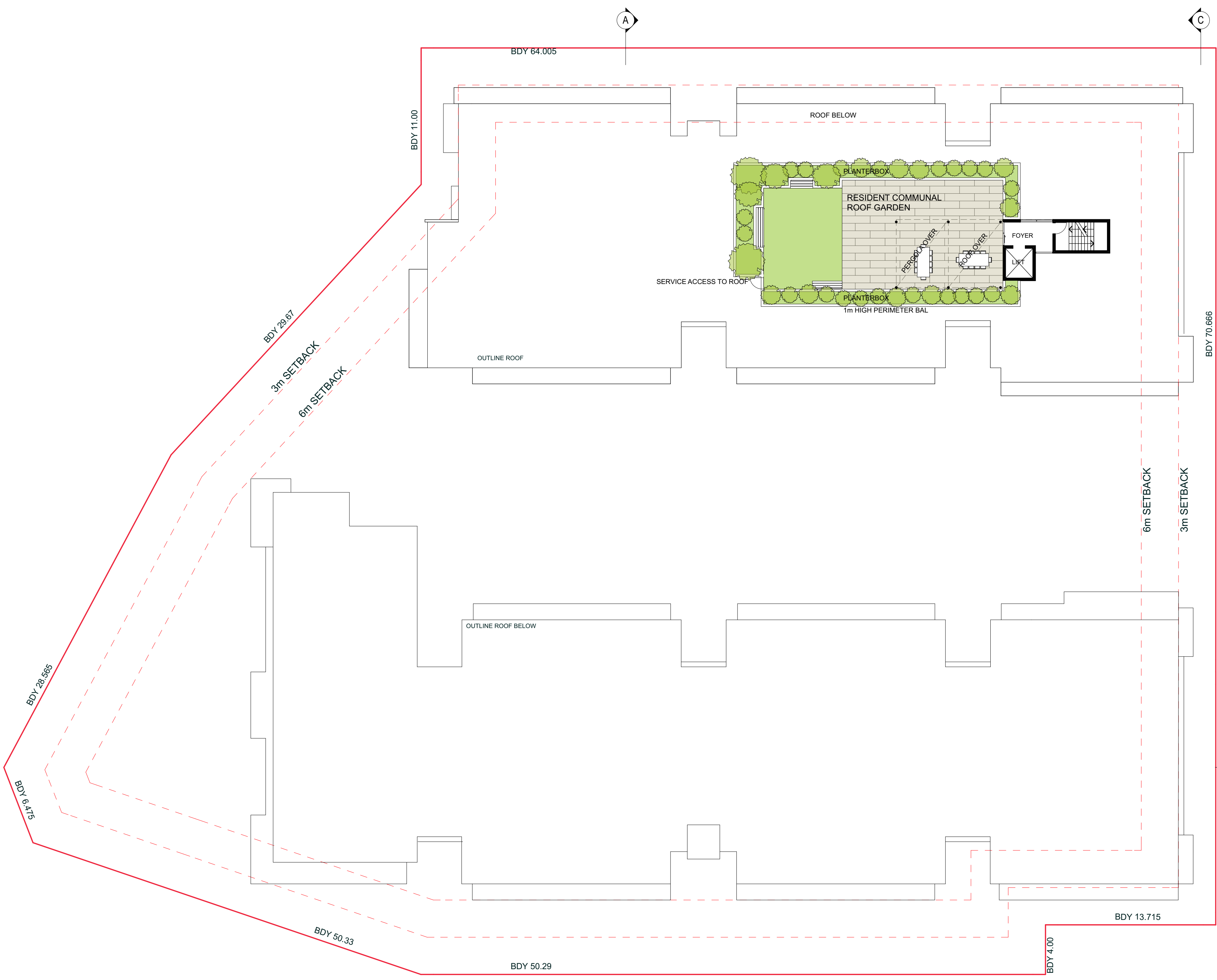
DEVELOPMENT APPLICATION

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- W: marklawlerarchitects.com.au



PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: LEVEL 06 | ROOF PLAN
SCALE: 1:200 @ A2
DATE: 06-Mar-18
DWG No: 1588 DD - 1-09
ISSUE: D
DRAWN: SC & ML & CG

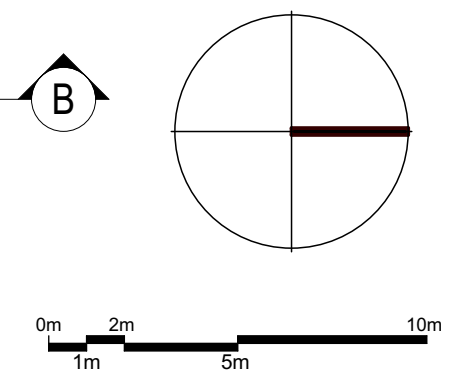


- LEGEND**
- 3 BED APARTMENT
APARTMENT NO.
AREA
 - A104
105 m² AREA
 - A104
105 m² AREA
 - A104
105 m² AREA
 - PUBLIC DOMAIN WORKS
- APT APARTMENT
BDY BOUNDARY
EGL EXISTING GROUND LEVEL
EX EXISTING
EXH EXHAUST
FHR FIRE HOSE REEL
PP POWER POLE
RL REDUCED LEVEL

DEVELOPMENT APPLICATION

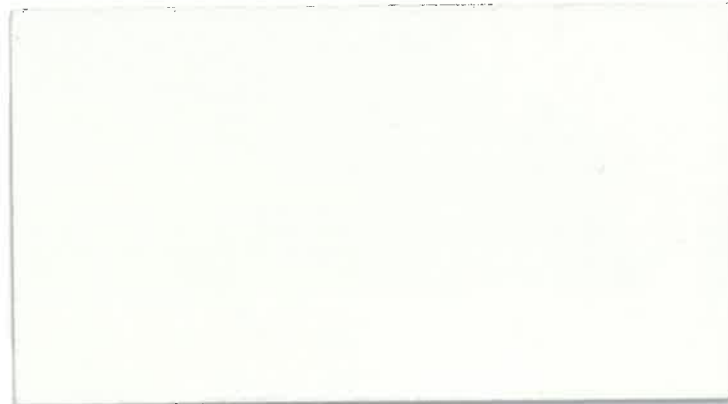
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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: ROOF GARDEN
SCALE: 1:200 @ A2
DATE: 06-Mar-18
DWG No: 1588 DD - 1-10
ISSUE: D
DRAWN: SC & ML & CG

External Colour Schedule - Mixed Use Development



Taubmans | "Flannel Flower"

- Building Colour 1
- Columns, Walls
- Apartment Base Frame
- Entry Frame



Taubmans | "Foxdale"

- Building Colour 2
- Recessed Walls
- Ground Level Commercial



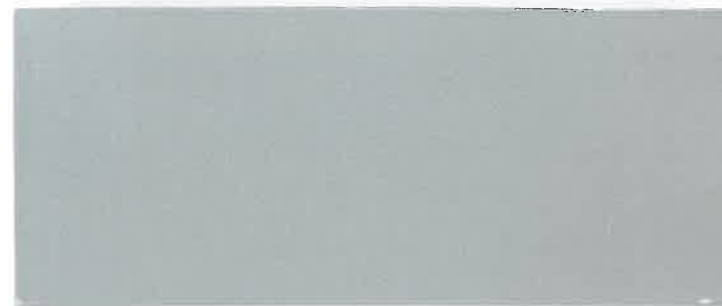
Taubmans | "Flintstone"

- Building Colour 3
- Recessed Walls



Colorbond | "Surfmist"

- Balustrades, Screens



Anodised Aluminium Stainless Steel

- Ground Level Surrounds
- Balustrades, Screens



Colorbond | "Basalt"

- Balustrade, Screens
- Shopfronts, Window Frames



Landscaping

- Ground Level Surrounds
- Podium Level Communal Outdoor



Timber

- Ground Level Surrounds
- Landscape Areas - Seating



Paving

- Ground Level Public
- Podium Level Communal Outdoor

Mark Lawler Architects

MIXED USE DEVELOPMENT
CARY STREET / ARNOTT AVENUE
TORONTO NSW



West Elevation (Cary St) 1:200



South Elevation (Reserve) 1:200

E	DATE	CG	DA ADJUSTMENTS
D	15.3.18	CG	DA
ISSUE	DATE	DRAWN	DESCRIPTION

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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: ELEVATIONS
SCALE: 1:200 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 2-01
ISSUE: D
DRAWN: SC & ML & CG

D09403937



East Elevation (Arnett Avenue) 1:200



North Elevation (McDonalds) 1:200

ISSUE	DATE	DRAWN	DESCRIPTION
E	08.07.19	CG	DA ADJUSTMENTS
D	15.3.18	CG	DA

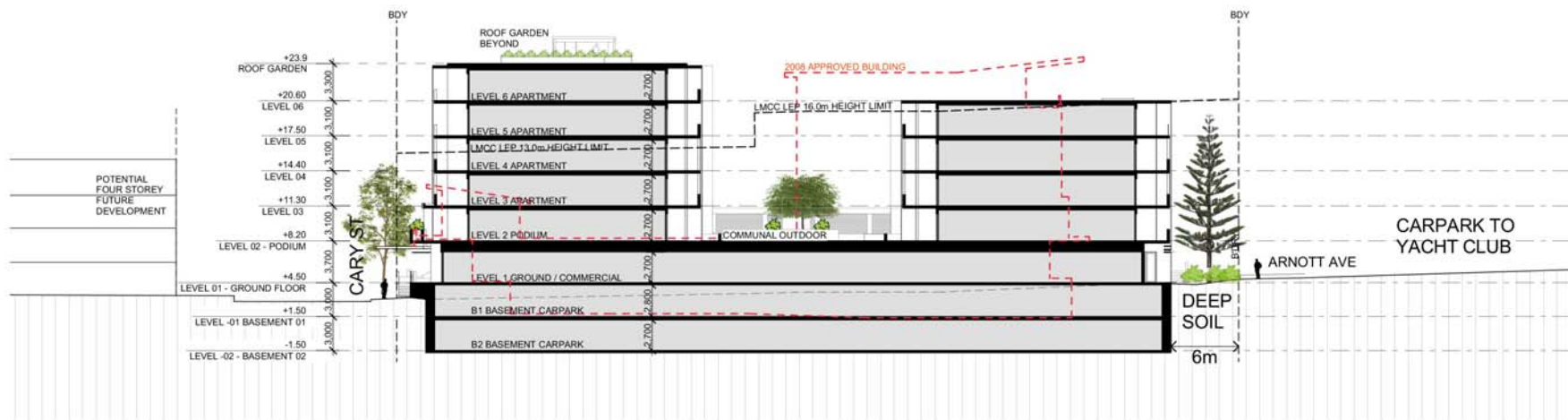
DEVELOPMENT APPLICATION

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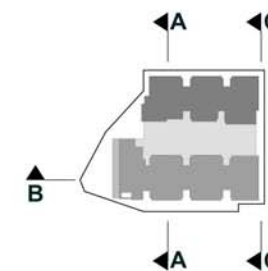
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CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: ELEVATIONS
SCALE: 1:200 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 2-02
ISSUE: D
DRAWN: SC & ML & CG

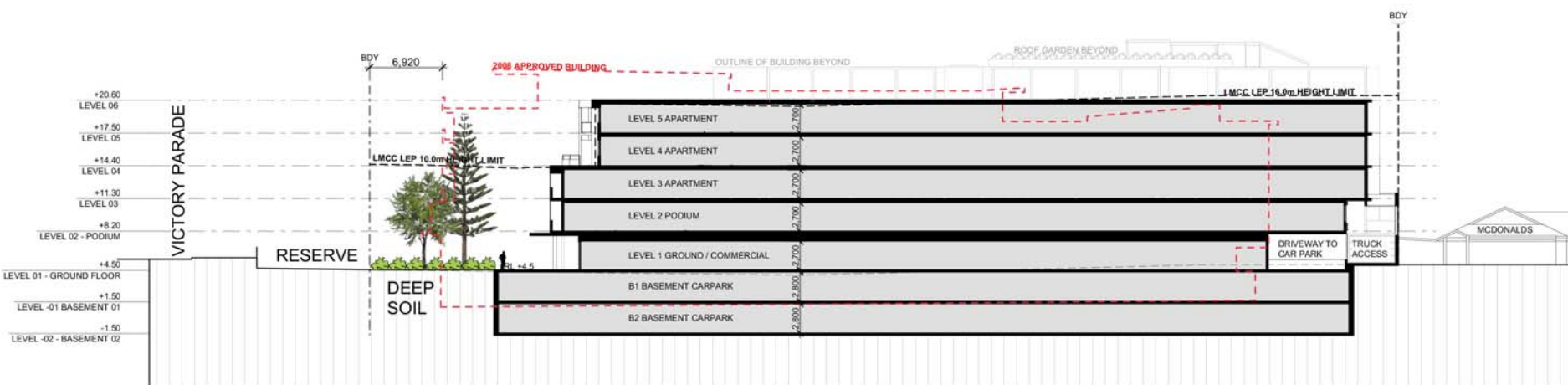
D09403937



Section A 1:300



KEY PLAN



Section B 1:300

ISSUE	DATE	DRAWN	DESCRIPTION
E	08.07.19	CG	DA ADJUSTMENTS
D	15.3.18	CG	DA

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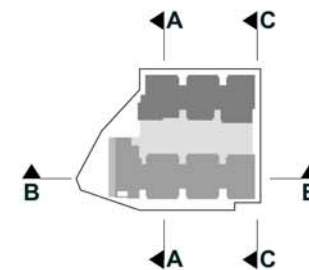
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- PROJECT:** TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: SECTIONS
SCALE: 1:300 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 3-01
ISSUE: D
DRAWN: SC & ML & CG

D09403937



Section C 1:200



KEY PLAN

ISSUE	DATE	DRAWN	DESCRIPTION
E	08.07.19	CG	DA ADJUSTMENTS
D	15.3.18	CG	DA

DEVELOPMENT APPLICATION

Mark Lawler Architects

- DIRECTOR + NOMINATED ARCHITECT:
 ■ MARK LAWLER (4766)
 ■ DIRECTOR: STEPHEN COON
 ■ 35 SMITH STREET, CHARLESTOWN NSW 2290
 ■ ABN: 31 752 945 195
 ■ P: (02) 4942 5222
 ■ F: (02) 4942 5233
 ■ E: reception@marklawlerarchitects.com.au
 ■ W: marklawlerarchitects.com.au

PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: SECTION
SCALE: 1:200 @ A2
DATE: 08-Jul-19
DWG No: 1588 DD - 3-02
ISSUE: D
DRAWN: SC & ML & CG

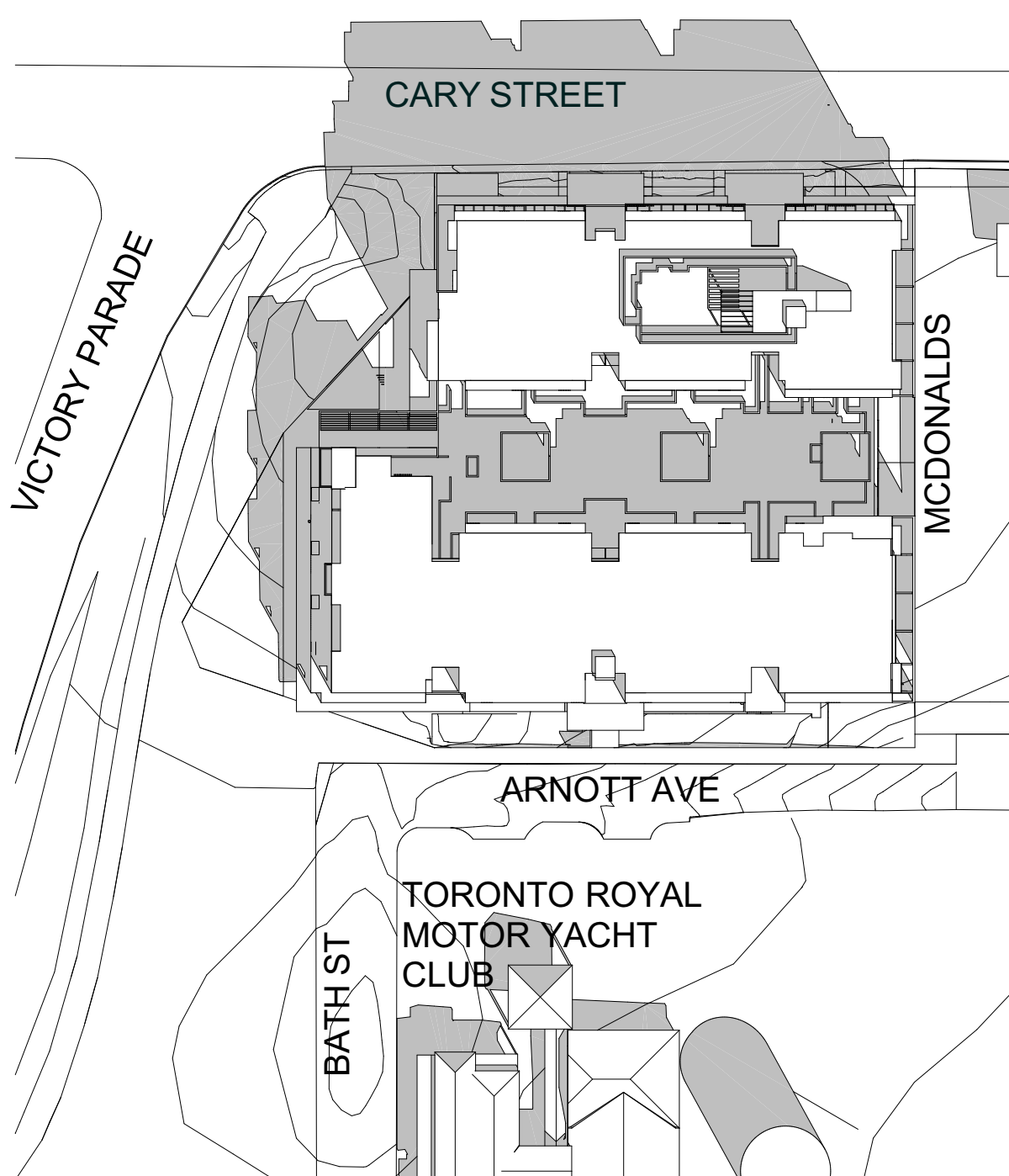
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LEGEND

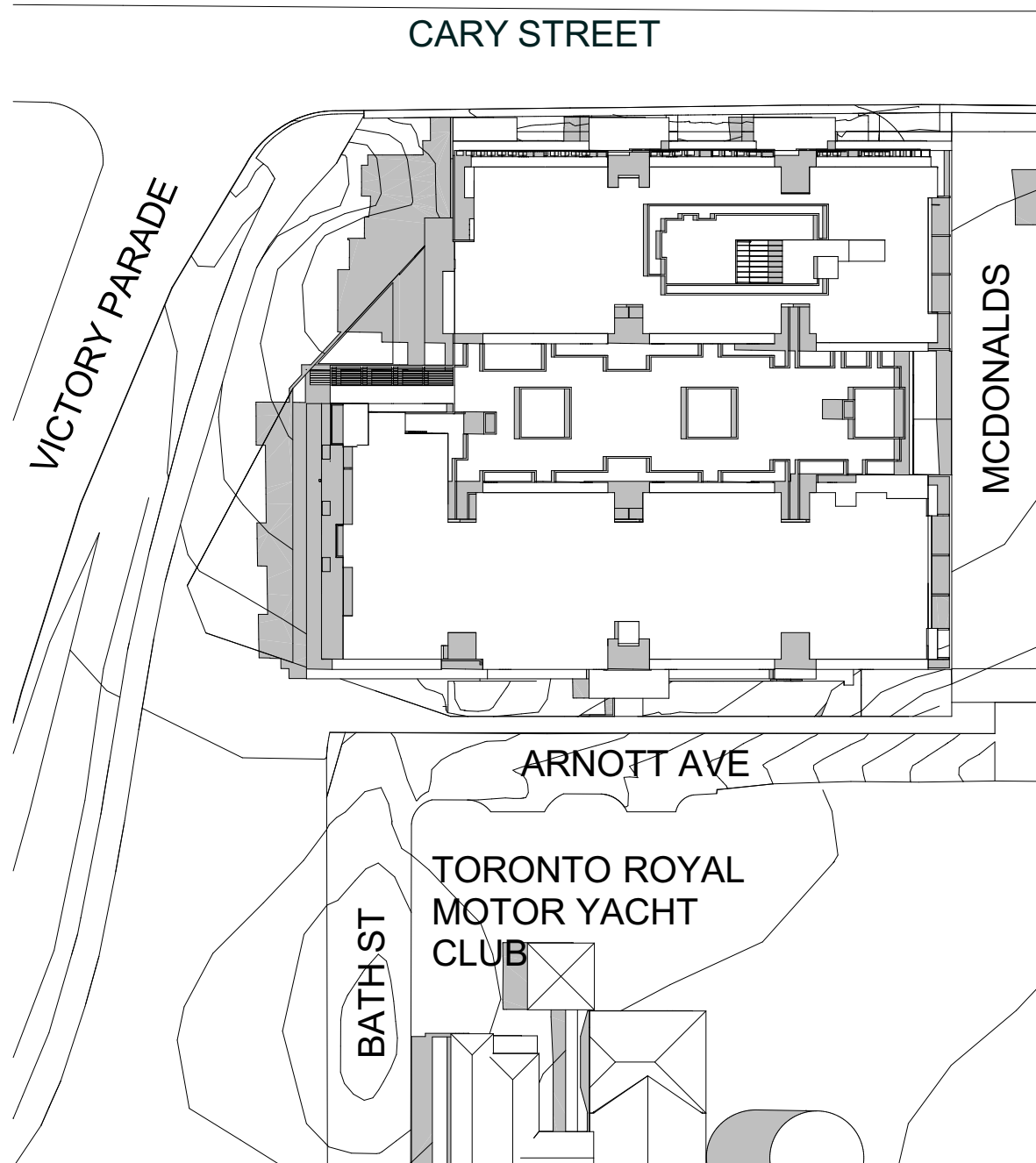
- 3 BED APARTMENT
APARTMENT NO.
AREA
- 2 BED APARTMENT
APARTMENT NO.
AREA
- 1BED APARTMENT
APARTMENT NO.
AREA

- PUBLIC DOMAIN WORKS

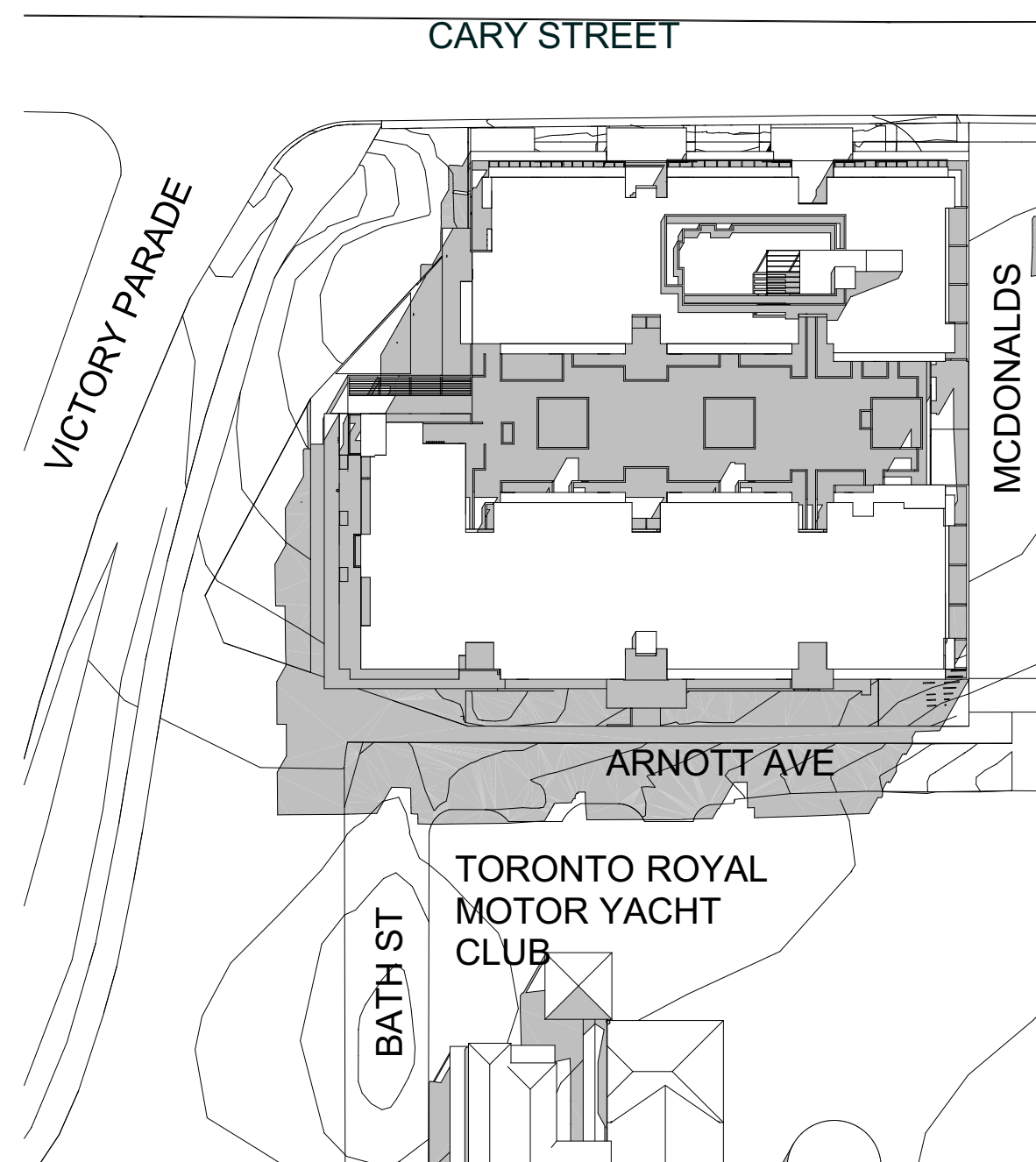
- APT APARTMENT
- BDY BOUNDARY
- EGL EXISTING GROUND LEVEL
- EX EXISTING
- EXH EXHAUST
- FHR FIRE HOSE REEL
- PP POWER POLE
- RL REDUCED LEVEL



3 March 21-9am



1 March 21-12pm

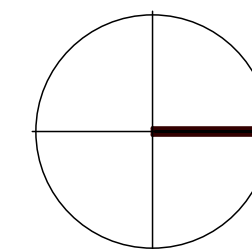


2 March 21-3pm

DEVELOPMENT APPLICATION

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PROJECT: TORONTO MIXED USE
 CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
 LOCATION: 118 CARY STREET TORONTO
 DRAWING: SHADOW DIAGRAMS AUTUMN
 SCALE: @ A2
 DATE: 06-Mar-18
 DWG No: 1588 DD - 7-10
 ISSUE: D
 DRAWN: SC & ML & CG

LEGEND

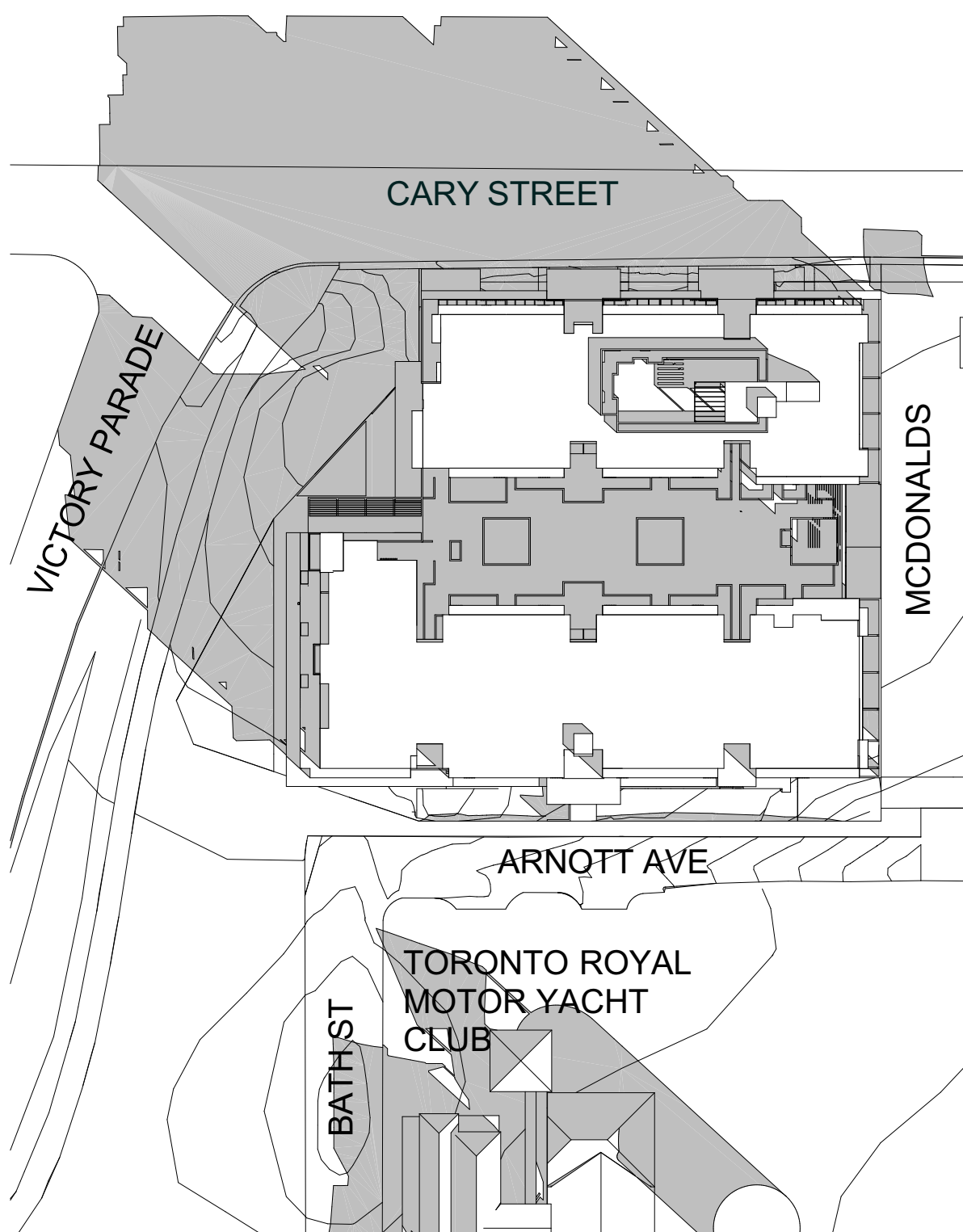
A104 3 BED APARTMENT
 105 m² APARTMENT NO. AREA

A104 2 BED APARTMENT
 105 m² APARTMENT NO. AREA

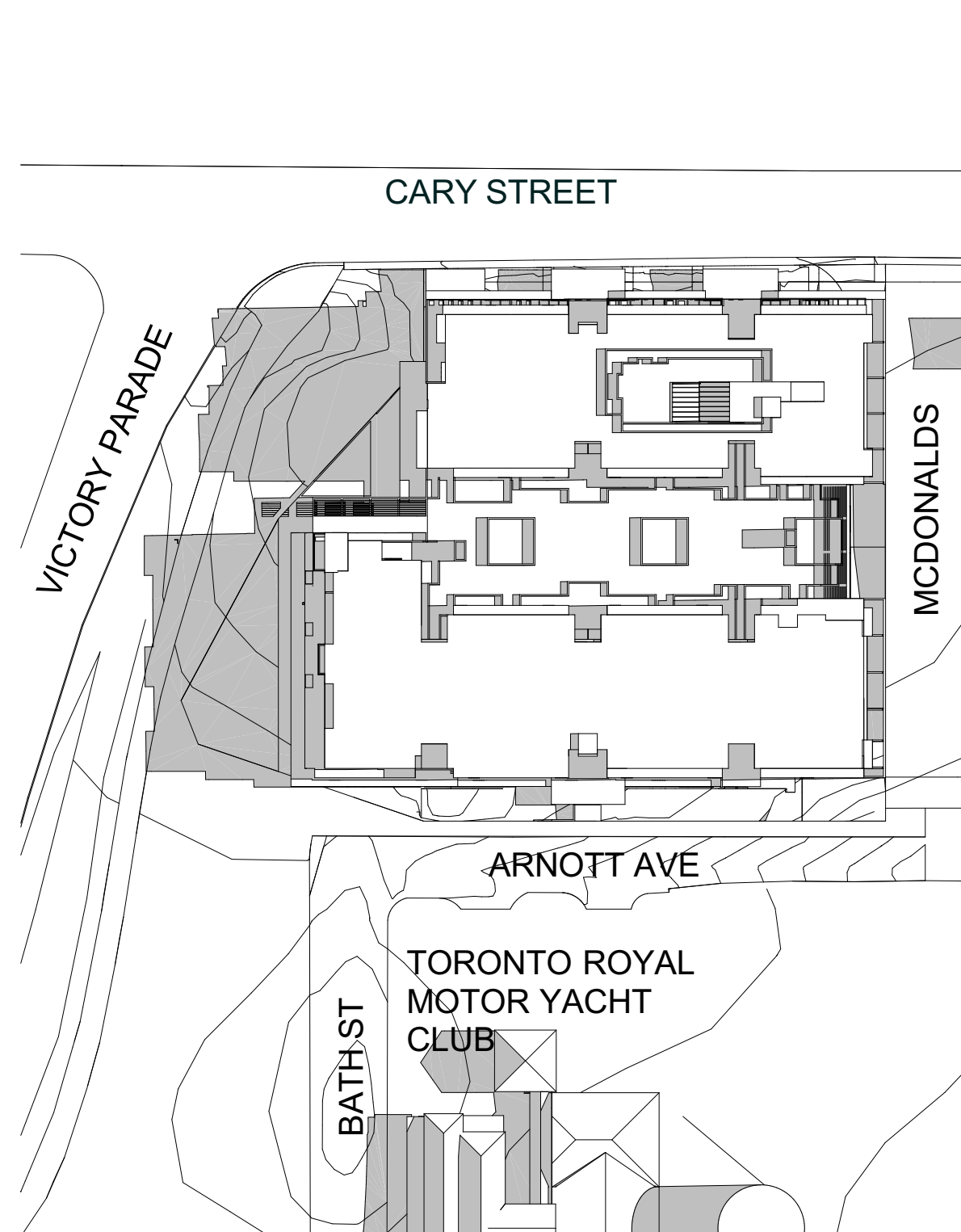
A104 1BED APARTMENT
 105 m² APARTMENT NO. AREA

 PUBLIC DOMAIN WORKS

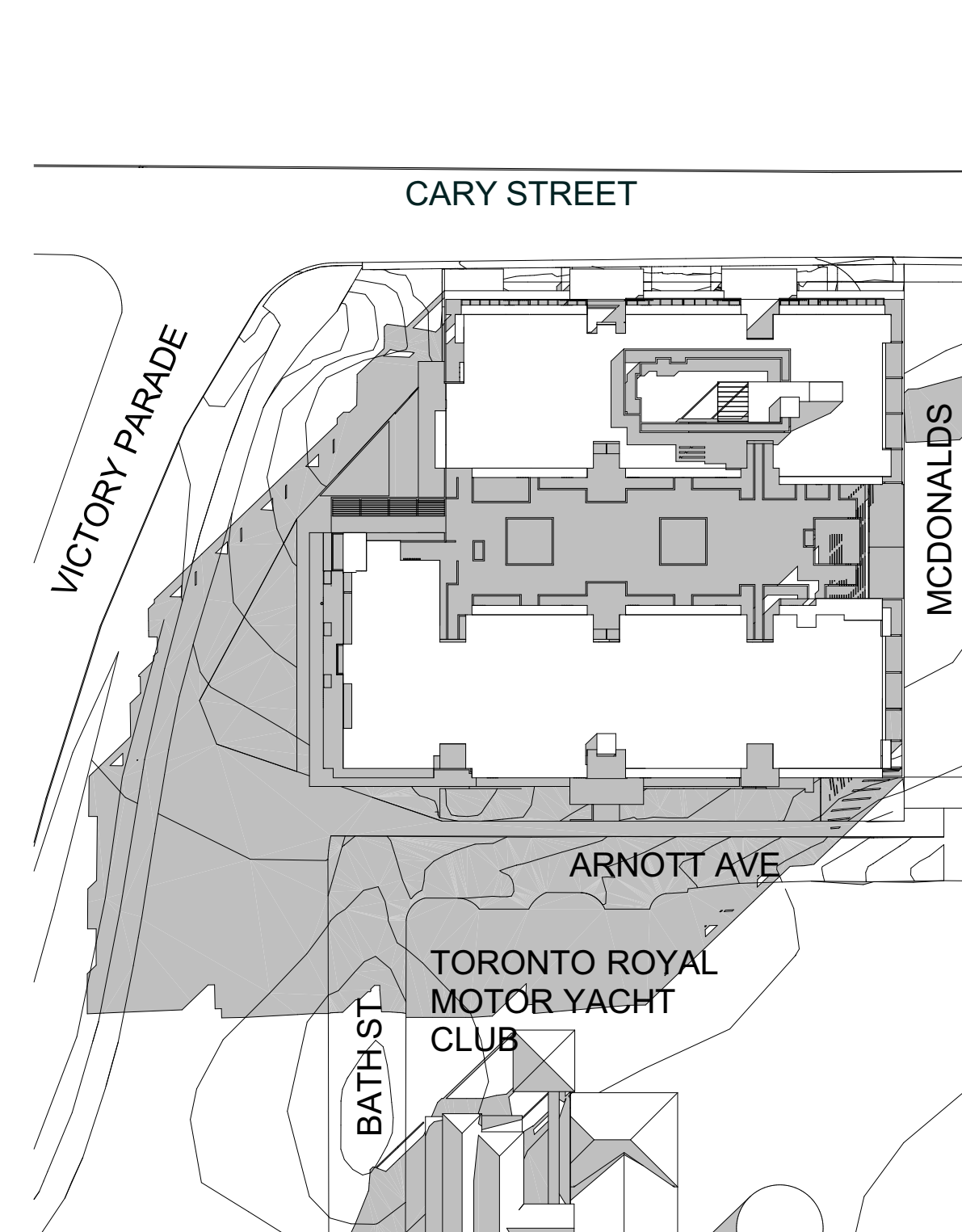
APT APARTMENT
 BDY BOUNDARY
 EGL EXISTING GROUND LEVEL
 EX EXISTING
 EXH EXHAUST
 FHR FIRE HOSE REEL
 PP POWER POLE
 RL REDUCED LEVEL



1 Jun-21-9am



2 Jun-21-12pm

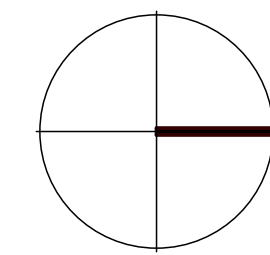


3 Jun-21-3pm

DEVELOPMENT APPLICATION

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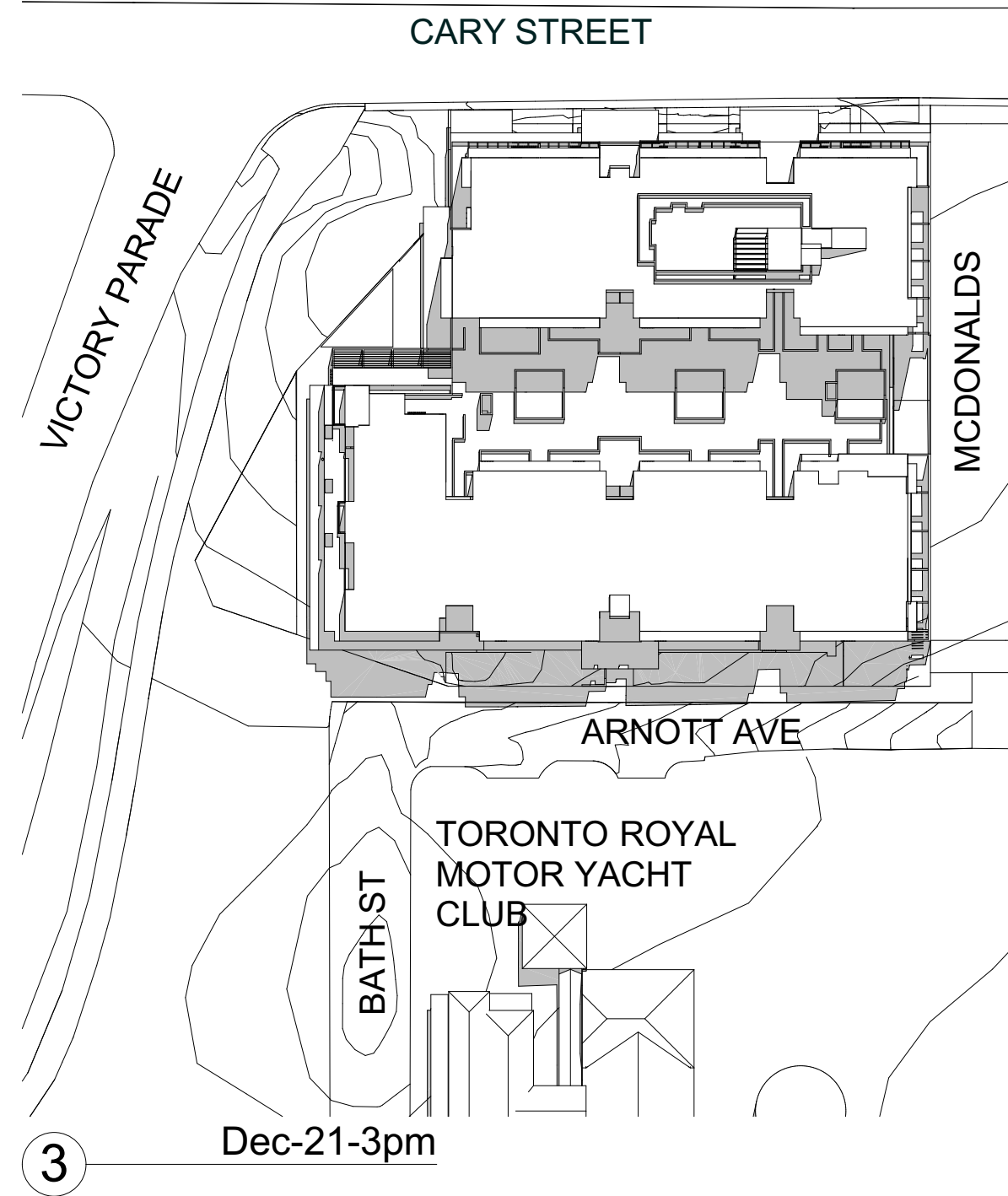
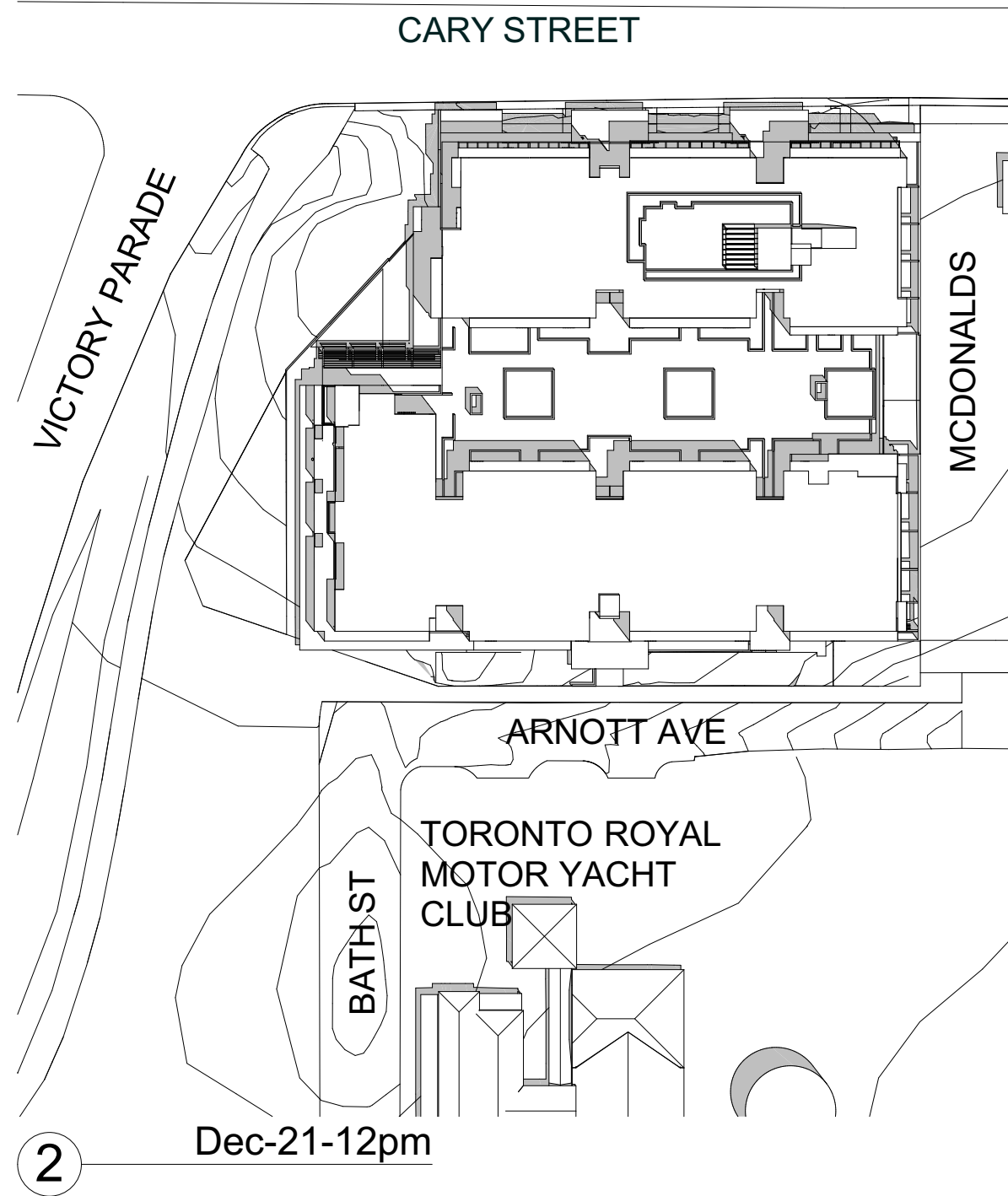
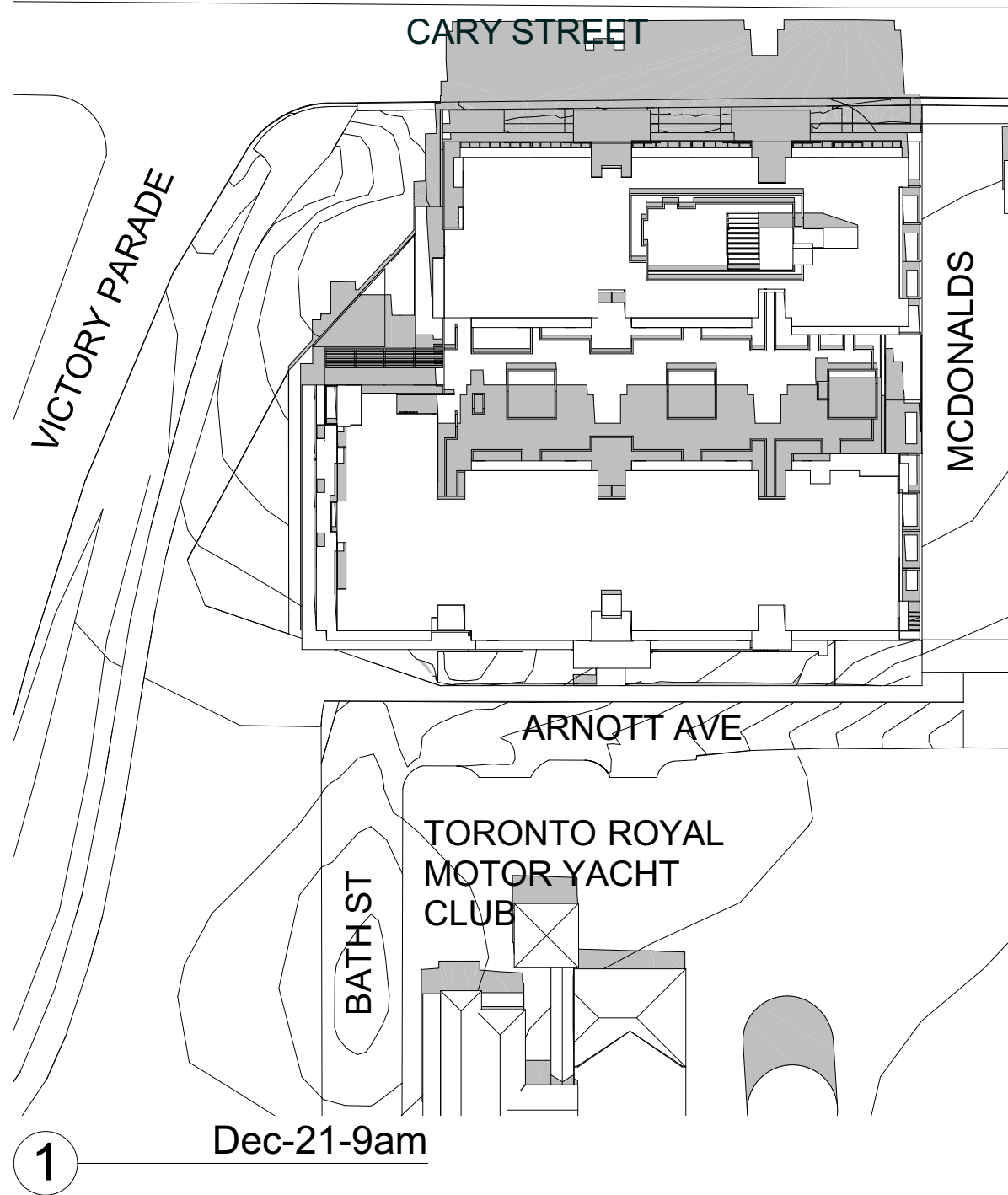


PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: SHADOW DIAGRAMS WINTER
SCALE: @ A2
DATE: 06-Mar-18
DWG No: 1588 DD - 7-11
ISSUE: D
DRAWN: SC & ML & CG

- LEGEND**
- 3 BED APARTMENT
APARTMENT NO.
AREA
 - 2 BED APARTMENT
APARTMENT NO.
AREA
 - 1BED APARTMENT
APARTMENT NO.
AREA



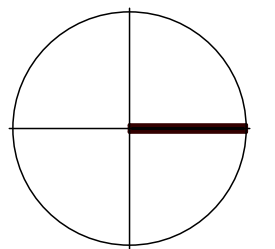
- APT APARTMENT
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PROJECT: TORONTO MIXED USE
CLIENT: TORONTO INVESTMENTS NO.1 PTY LTD
LOCATION: 118 CARY STREET TORONTO
DRAWING: SHADOW DIAGRAMS SUMMER
SCALE: @ A2
DATE: 06-Mar-18
DWG No: 1588 DD - 7-12
ISSUE: D
DRAWN: SC & ML & CG